

Pindari

PARK

RayWhite.

1483 Gin Gin Rd, Sharon QLD 4670



Warren Hitzke

Ray White Bundaberg City

0437 239 688



Warren Hitzke

Sales & Marketing
Selling Principal

M 0437 239 688

E warren.hitzke@raywhite.com

RayWhite

'Pindari Park'

1483 Gin Gin Road Sharon, Lot 6/SP243393 – 25.05Ha

Situated just on the outskirts of the Bundaberg City, 'Pindari Park' is located less than 15 minutes from many great schools, shops and three hospitals that Bundaberg has to offer. The estate is bordered by the Burnett River, Sharon Nature Reserve, Gin Gin Road and a private residence which restrain this estate from further development, making this one of the most exclusive land releases Bundaberg has seen.

The estate offers a great design with an array of home sites, varying from Lots with exceptional river views, to river frontage Lots containing protected native flora and fauna to Lots with open grassland paddocks. All of which are situated approximately 10 meters higher than the previous maximum recorded flood levels.

All Lots will be accessed via an upgraded intersection from Gin Gin Road (with turning lanes) leading to a landscaped trunk road. A t-intersection at the end of the trunk road then feeds left and right to terminate in two cul-de-sacs which give each Lot an acceptable setback from Gin Gin Road which contains thick vegetation as a buffer.

All streets in the estate will be sealed with asphalt and concrete edge beam, and all Lots are serviced by an asphalt driveway, underground power, street lighting and storm water drainage system.

With school buses running past the estate entrance and Sharon Service Station just down the road, Pindari Park is one of Bundabergs most exclusive acreage estates that captures the essence of rural living, giving a boutique feel in safe surrounds close to Bundaberg.



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RayWhite

Price List

November 2018

Ray White Bundaberg City

4a Targo Street, Bundaberg Central

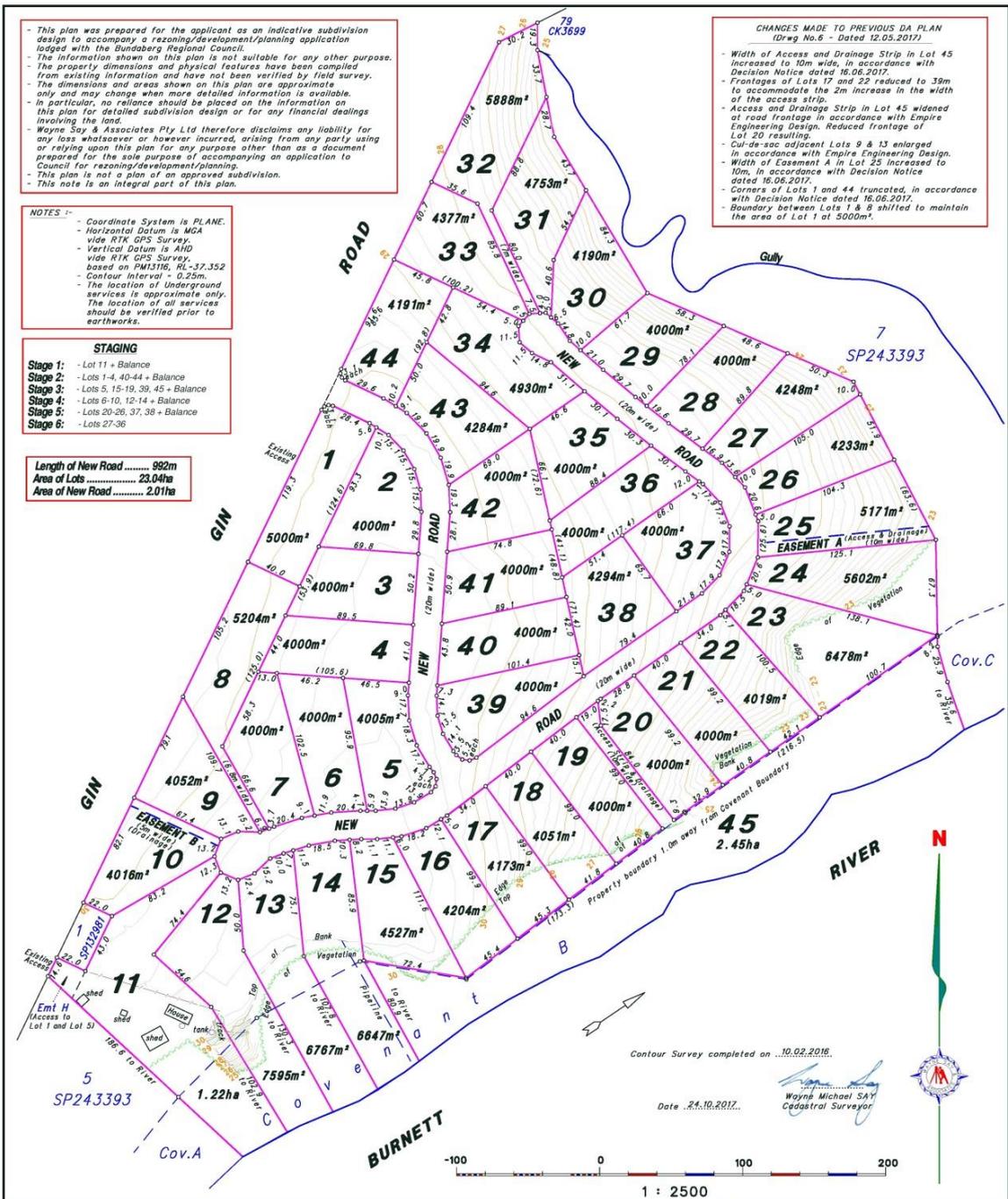
www.raywhitebundabergcity.com.au

N.B. – Prices subject to change.

Lot Number	Size	Price	Feature
1	5,000m2	\$145,000.00	
2	4,000m2	\$150,000.00	
3	4,000m2	\$150,000.00	
4	4,000m2	\$150,000.00	
5	4,005m2	\$150,000.00	
6	4,000m2	\$150,000.00	
7	4,000m2	\$150,000.00	
8	5,204m2	\$145,000.00	
9	4,052m2	\$150,000.00	
10	4,016m2	\$150,000.00	
11	11,200m2	UNDER OFFER	River Frontage
12	7,595m2	UNDER OFFER	River Frontage
13	6,767m2	UNDER OFFER	River Frontage
14	6,647m2	UNDER OFFER	River Frontage
15	4,527m2	UNDER OFFER	River Views
16	4,204m2	UNDER OFFER	River Views
17	4,173m2	\$180,000.00	Adjoin Nature Park
18	4,051m2	\$180,000.00	Adjoin Nature Park
19	4,000m2	\$180,000.00	Adjoin Nature Park
39	4,000m2	\$150,000.00	
40	4,000m2	\$150,000.00	
41	4,000m2	\$150,000.00	
42	4,000m2	\$150,000.00	
43	4,284m2	\$150,000.00	
44	4,191m2	\$145,000.00	

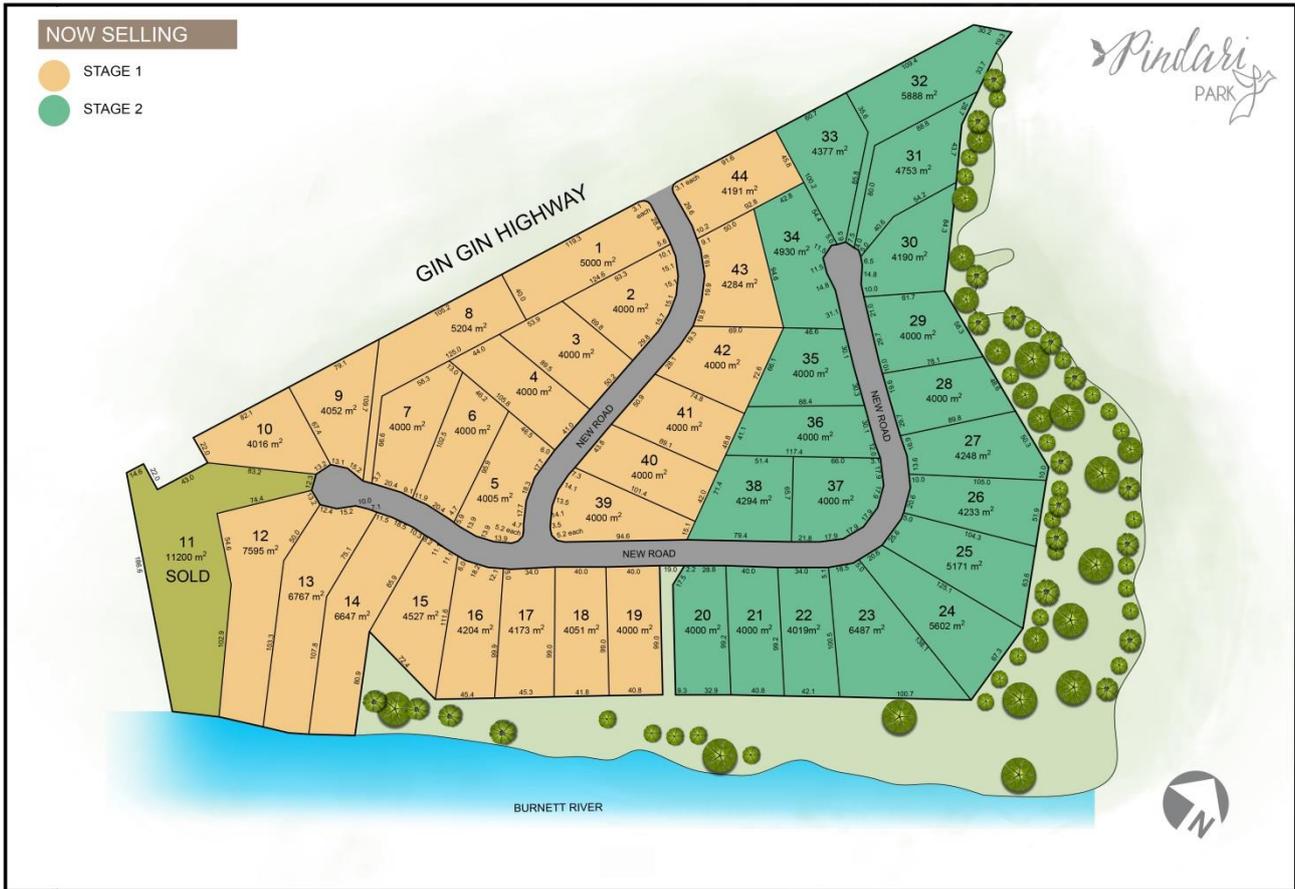


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WAYNE SAY & ASSOCIATES P/L. CONSULTING SURVEYORS. 'The Bellevue' 47 Churchill Street, CHILDERS Ph. (07) 41 262 555 (Mobile) 0427 062714 admin@waynesay.com.au		DEVELOPMENT APPLICATION PLAN PROPOSED SURVEY OF LOTS 1 - 45 AND EASEMENTS A & B. Cancelling Lot 6 on SP243393.				
LOCALITY: Sharon APPLICANT: FJV Investments OWNER: FJV Investments		Draft:- W.M.S. Mmts:- D.C. & K.McD Calcs:- W.M.S. Check:- W.M.S.				
MERIDIAN MGA vide RTK GPS	MAP REF. 9348-32111	DRAWING Kelly15005-Drawg No. 7	REFERENCE 15005	DATE 24.10.2017	SCALE 1:2500 (A3)	LOCAL GOVERNMENT Bundaberg Regional Council





"PINDARI PARK"

COVENANT/DEVELOPMENT RULES
LOTS 1 TO 10, 12 TO 19 AND 39 TO 44.

1 Covenant

1.1 The buyer acknowledges that Pindari Park is being developed with a high standard of lifestyle in mind. It is the Sellers goal to create a rural residential community comprising quality housing with landscaped surrounds.

1.2 It is necessary in the interests of all buyers of lots in Pindari Park that the seller exercises proper supervision and control. These controls are set out in this Covenant and form part of the contract of sale. The buyer acknowledges that to ignore or avoid adherence to this Covenant will cause material loss and damage to the seller. The buyer agrees to be bound by the terms of the Covenant as hereinafter set out.



2 Transfer of Covenants to Future Buyers

2.1 Should the Buyer resell the Property the Buyer shall obtain a covenant in the same terms as the within covenant in favour of the Seller from the incoming Buyer at or prior to settlement.

2.2 The Buyer acknowledges that should the Buyer not comply with condition 2.1 hereof the Seller will suffer loss and incur expenses. The Buyer covenants and agrees with the seller that should the Buyer fail to comply with condition 2.1 hereof the Buyer shall indemnify the seller with respect to any loss that the Seller may suffer as a result thereof and all costs (including legal costs on a full indemnity basis) that the Seller may incur with respect to or because of the buyer failing to comply with condition 2.1 hereof.

3 Building Setbacks

Any structure built on the lot (including dwelling, garage, carport, etc.) shall be located a minimum distance of 10 metres from any road reserve boundary.

4 Building Materials

Dwelling houses, including roofing, are to be constructed and designed to reflect contemporary Queensland residential architecture and the character of the Pindari Park project generally.

5 Fencing

5.1 Any fence constructed on the road reserve boundary shall be of modern design. No wire netting allowed.

5.2 Fencing shall be no higher than 1.8m if constructed of brick, Colourbond Iron or timber.

5.3 If constructed of wire mesh/netting (sides or rear of Lot), the wire mesh/netting is to be a maximum of 1.2m high and be supported by timber posts or round galvanised steel posts and tensioned. No star pickets permitted.

5.4 Galvanised Iron, post and wire fences and barbed wire fences are not permitted.

6. Dividing Fences

6.1. Despite any provisions of the Dividing Fences Act 1953

1. The Seller shall not be liable to or required at any time by the Buyer to join in or contribute towards the erection, maintenance or repair of any dividing fence or other fence related to the Land, and so long as the Seller remains the owner of the adjoining land, the Buyer will not sell or otherwise dispose of the Land without obtaining from its Buyer a Deed of Covenant in favour of the Seller in the similar terms to this Rule;

And



2. The Buyer agrees not to claim contribution (monetary or otherwise) under the Dividing Fences Act 1953 or otherwise, from any adjoining land owner in any way associated with a proposed or existing dividing fence between the Land and any adjoining land except where the adjoining land is used or is going to be used for the purpose of a single unit private dwelling house.

7 Maintenance and Existing Vegetation

The Seller is committed to ensure that the Pindari Park project is kept in a clean and tidy condition for the benefit of all residents. In line with that commitment, the Seller, by agreement with the Bundaberg Regional Council, has undertaken at its cost to carry out maintenance works within the development for an agreed period after which the Bundaberg Regional Council accepts responsibility. Natural bushland areas on blocks are valuable to the environment and owners are encouraged to retain any existing vegetation and plant native trees and shrubs suitable for the site. The Buyers shall co-operate with the Seller to the extent that the Buyers undertake to maintain the purchased lot in a clean and tidy condition which will include slashing of the lot where vegetation has been removed.

8 Rubbish

No rubbish shall be allowed to be placed or accumulate on the subject lot or on any adjacent roadway or park or open space area. All rubbish is to be removed from the construction site as soon as practically possible after construction has been completed.

9 Finishing Off the House

The construction of any building shall be completed expeditiously once commenced.

10 Landscaping

Landscaping is encouraged.

11. Alterations to Development Rules

The Seller may vary or not enforce the provisions of any Rules at any time prior to sale in respect of any land and in that event the Buyer shall have no claim whatsoever against the Seller.

12 Variation

The seller may vary this covenant upon individual request.





The Seller and the Buyer agree to comply with the terms of the Covenant and Development Rules contained in this document.

The ____ day of ____ 20 ____.

Vendor

Witness

Purchaser/s

Witness



Warren Hitzke 0437 239 688

EXPRESSIONS OF INTEREST

Ray White Bundaberg City
4a Targo Street, Bundaberg QLD 4670



RayWhite.

Submitted to: **Ray White Bundaberg City**

Attention:
Ray White Bundaberg City
bundabergcity.qld@raywhite.com
4a Targo Street
BUNDABERG QLD 4670
Ph: 07 4306 7007 / Fax: 07 4306 7077

1. Prospective Purchasers Details

Full / Company Name:			
Contact Person:			
ACN or ABN if applicable:			
Registered Address:			
Telephone:		Fax:	

2. Purchaser's Solicitor Details

Company Name:			
Contact Person:			
Address:			
Telephone:		Fax:	

3. Details

Property Address:			
Settlement:	Days		
Price Offered:	\$		
Deposit:	\$ (upon execution of contract)		
Terms/Conditions of Offer:	(i) Subject to: (ii) Subject to: (iii) Subject to:		



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I/We confirm our interest in respect to the sale of the above property. I/We will pay the full deposit as per the above terms upon entering into a signed contract with the Vendor.

This expression of interest by the purchaser is subject to contracts being prepared to the mutual acceptance of both parties.

The Vendor reserves the right, at their sole discretion, to postpone or cancel the proposed sale of the Property and to modify or add any terms and conditions to any proposed contract and other material associated with the proposed sale, which may be made available to a potential purchaser.

The expression of interest form does not constitute, and should not be considered as, a recommendation in relation to the purchase of the Property or any other matter, or as a solicitation or offer by the Vendor to sell the Property or a Contract of Sale for the sale of the Property.

This offer is made on the _____ day of _____ 2018.

Prospective Buyers Signature:
As a representative and/or on behalf of the buying entity

Prospective Buyers Name:

